
project number	11-14
project name	Laramie County Weed & Pest
contact person	Jacob Augenstein Jerry Voigt
file name	Z:\CURRENT PROJECTS\11-14\2_Bid\Addendum\Addendum #1\BCD 1114 Addendum #1.doc

ADDENDUM NO. #1 – SEPTEMBER 8, 2011

NOTE: RECEIPT OF THIS ADDENDUM MUST BE ACKNOWLEDGED IN THE SPACE PROVIDED ON THE BID PROPOSAL FORM.

The following revisions have been made to the specifications and contract documents, and drawings for the above referenced project dated August 22, 2011. Addenda items take precedence over the drawings, specifications and contract documents.

Summary of Sections

- A. Project Questions
- B. Specifications and Contract Documents
- C. Drawings

Additional Attachments not addressed below

- Pre-Bid Meeting Attendee List
- Pre-Bid Agenda/Meeting Minutes
- Plan Holders List

A. PROJECT QUESTIONS

1. Is there a wage rate requirement for this job?
 - a. There are no wage rate requirements for this project.
2. What all is required to be enclosed with the bid form on bid day. Do we have to have Certificate of Residency? Do we have to enclose 3 past project references? Do we have to have (1) original bid form signed in blue ink and (1) copy of the bid form enclosed?
 - a. Certificate of Residency is required to be turned in with the bid form.
 - b. The (3) past projects do not need to be included with the bid form, but will be required at Owner's request, after bids are opened.
 - c. Only the original bid form is required to be submitted.
3. Can OSB Board be used in place of plywood for the 5/8" sheathing on the walls and 3/4" sheathing on the roof?
 - a. OSB Board is an acceptable product.

-
4. Does the architect/owner desire work to take place throughout winter weather conditions, which means including weather protection in our base bid?
 - a. Because the General Contractor is responsible for selecting the substantial competition time, it will up to them determine if winter protection is needed or not.
 5. Per Section 002113 1.7, the "Bidder is required to provide three (3) past performance references". Are the references limited to three (3) and can additional company background be included with the past performance references?
 - a. Only (3) relevant projects (w/ references) will be accepted, if requested (see question 2).
 - b. Only the General Contractor will be allowed to submit past projects and project references, if requested.
 6. Per Section 002113 1.8, "An accurate list of major subcontractors to be used in the construction of the project shall be submitted by the bidder...". Shall the subcontractor list be included with the bid documents due at 2:00 on Tuesday 13 September?
 - a. The section states, "...at Owner's request."
 7. Are Wyoming resident subcontractors required to be officially registered with the State of Wyoming in order to be considered Wyoming resident subcontractors?
 - a. Yes
 8. Per Section 002113 1.18, "Prime Contractor and Subcontractor shall show evidence of average or better-than-average past safety performance...". Shall the evidence be included with the bid documents due at 2:00 on Tuesday 13 September?
 - a. Yes.

B. SPECIFICATIONS AND CONTRACT DOCUMENTS

SECTION 002113 – INSTRUCTION TO BIDDERS

Add subparagraph 'B' to "1.17 – PERFORMANCE BOND AND LABOR AND MATERIAL PAYMENT BOND" as follows;

- B. ACTIONS NEEDED TO PRESERVE RIGHTS OF SUBCONTRACTORS AND MATERIAL SUPPLIERS UNDER BOND OR GUARANTEE. Per Wyoming State Statute (W.S. 16-6-121).
 - (a) Any subcontractor or material supplier entitled to the protection of a bond or other form of guarantee approved by the state or any political subdivision under W.S. 16 6 112 shall give notice of his right to that protection to the prime contractor. Failure to give notice to a prime contractor who has complied with subsections (f) and (g) of this

condition waives the subcontractor's or material supplier's protection under the bond or guarantee and waives any right to a lien for materials or services provided.

- (b) The notice shall be given no later than sixty (60) days after the date on which services or materials are first furnished.
- (c) The notice shall be sent to the prime contractor by certified mail or deliver mail or delivered to and receipted by the prime contractor or his agent. Notice by certified mail is effective on the date the notice is mailed.
- (d) The notice shall be in writing and shall state that it is a notice of a right to protection under the bond or guarantee. The notice shall be signed by the subcontractor or material supplier and shall include the following information:
 - (i) The subcontractor's or material supplier's name, address and phone number and the name of a contact person.
 - (ii) The name and address of the subcontractor's or material supplier's vendor; and
 - (iii) The type or description of the materials or services provided.
- (e) This condition shall only apply where the prime contractor's contract for fifty thousand dollars (\$50,000) or more.
- (f) The prime contractor shall post on the construction site a prominent sign citing this section and stating that any subcontractor or material supplier shall give notice to the prime contractor of a right to protection under the bond or guarantee and that failure to provide the notice shall waive the subcontractor's or material supplier's protection under the bond or guarantee and shall waive any right to a lien for materials or services provided.
- (g) The owner or his agent shall provide written notice of the information required by this condition in the project specifications.

SECTION 064116 – PLASTIC LAMINATE-FACED ARCHITECTURAL CABINETS

In '2.1.A. Approved Casework Fabricators...'; Add 'True North Woodcraft' to the approved fabricators list.

SECTION 074213 – FORMED METAL WALL PANELS

In 2.1.B.3. Other approved manufacturers; Add 'Morin Corp.' to the approved manufacturer list.

SECTION 085113 – ALUMINUM WINDOWS

From '1.5-WARRANTY'; REMOVE subsection; 'C. Warranty Period for Glass: Five years from date of substantial completion" from the section.

SECTION 088000- GLAZING

Add Sub Paragraph 'B' to '1.9-WARRANTY'

- B. Warranty Period for all other Glass: Five Years from the Date of Substantial Completion.

SECTION 095113 - ACOUSTICAL PANEL CEILINGS

From '1.5 - QUALITY ASSURANCE'; REMOVE entirely 'D. Seismic Standard' and all the subsections '1 & 2' from the specifications.

SECTION 099123 - INTERIOR PAINTING

Revise section '2.6 FLOOR COATINGS' as follows;

- A. Heavy Duty Floor Coating: MPI # 31

1. Provide Sherwin Williams, 'Armorseal Rexthane I Floor Coating'

Revise section '3.5 INTERIOR PAINTING SCHEDULE' as follows;

- A. Concrete Substrates, Traffic Surfaces:

1. Heavy Duty Floor Coating System: (Room # 105 & 200)

- a. Preparation: Muriadic Wash - 15% Solution
b. First Coat: Heavy Duty Floor Coating System (MPI #31)
c. Top Coat: Heavy Duty Floor Coating System (MPI #31)

C. DRAWINGS

S2 - ROOF FRAMING PLAN

On SECTION Detail 'A' the note reading: TOP OF WALL ELEVATION 113'-11", needs to be revised to read: TOP OF WALL ELEVATION 113'-10".

A4.01 - ROOF PLAN

Add the following note to the sheet: "ALL ROOF OVERHANGS ARE 2'-0", MEASURED FROM THE WALL GRID LINES. EXCEPT THE CANOPY OVERHANG WHICH MEASURES 1'-0" FROM THE GRIDLINES A, 2 & 5."

A12.01 - FINISH PLAN

Revise "ROOM FINISH LEDGEND 1/8"=1'-0"" to read "ROOM FINISH LEGEND 1/8"=1'-0""

In the ROOM FINISH LEGEND; revise "SEALED CONC." floor type to read "HEAVY DUTY FLOOR COATING".

M1.01 - MECHANICAL PLAN

Revise the 'MECHANICAL PLAN STORAGE', with the attached Mechanical Sketch # SK-1

E0.01 – SCHEDULES

PRODUCT SUBSTITUTION for luminaries. See the attached letter from Wyoming Lighting Associates for accepted product substitutions. (Note: This is not a formal review. The Contractor will still need to formally submit the fixtures for review and approval after award of the contract.)

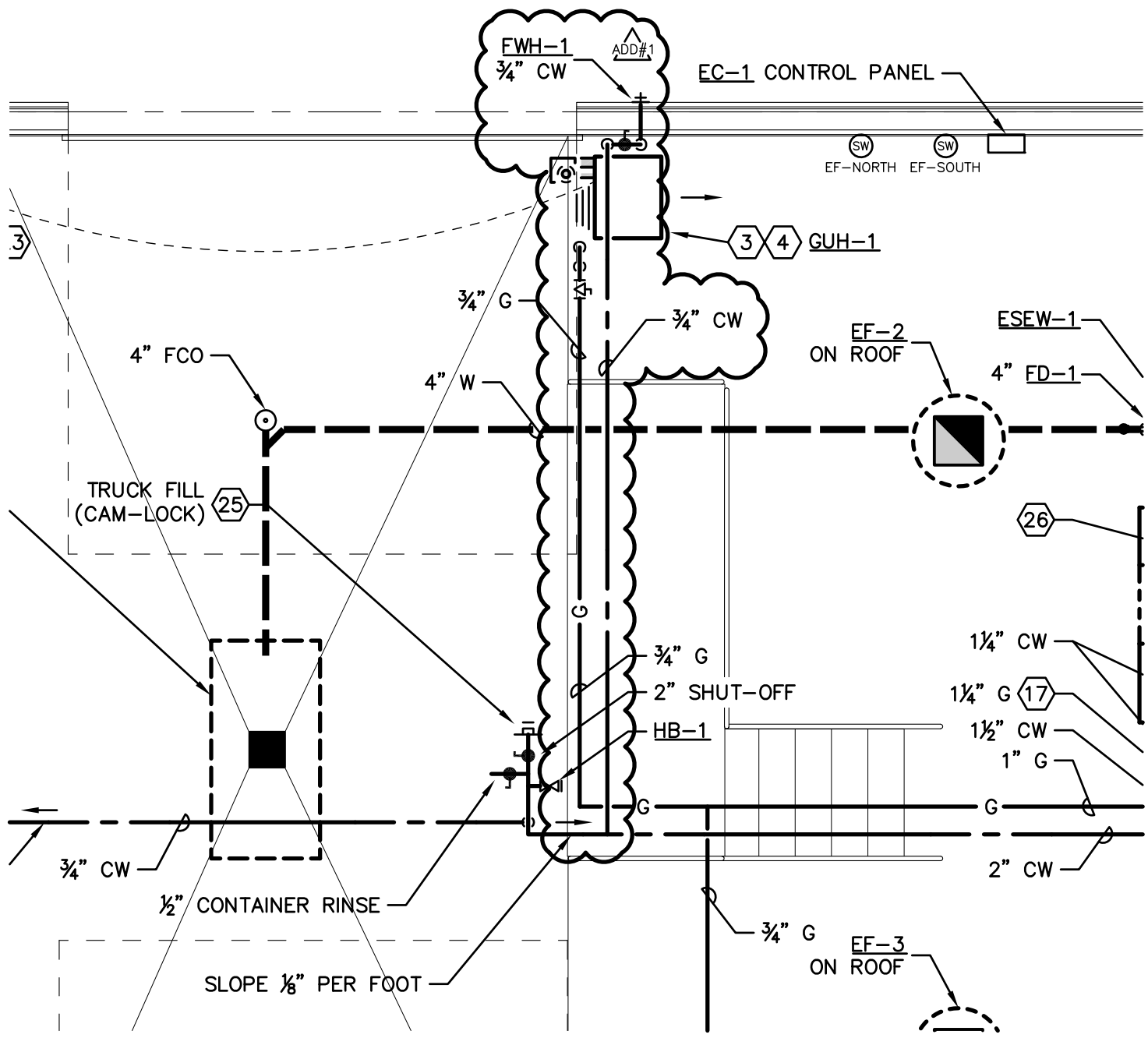
Remove the following note for the LUMINAIRE SCHEDULE, "NOTE: EXCEPT WHERE NOTED OTHERWISE, SCHEDULE PROVIDED ONE MANUFACTURE. ALTERNATE MANUFACTURES ARE ALLOWED PROVIDED THE ALTERNATES HAVE SIMILAR CHARACTERISTICS, INCLUDING PHOTOMETRY, QUALITY AND FINISH. ALTERNATE MANUFACTURES SHALL BE LISTED AND BID SEPARATELY BY THE CONTRACTOR."

E1.01 – ELECTRICAL SITE PLAN

Revise sheet with the Electrical Sketch # 1 attached.

E 2.01 – POWER FLOOR PLAN, LIGHTING FLOOR PLAN

Revise the "POWER NOTES THIS SHEET" note 'A' with the Electrical Sketch # 2 attached.



ADDENDUM #1

CD REFERENCE SHEET	M1.01
SKETCH NUMBER	SK-1
SHEET TITLE	MECHANICAL PLAN
DATE	09/08/11
PROJECT #	11-14
PROJECT NAME	LARAMIE COUNTY WEED & PEST

TOBIN & ASSOCIATES
ARCHITECTURE / PLANNING

Wyoming Lighting Associates



September 2, 2011

Mr. Chris Sample
 Sample Engineering
 3101 Kintzley Court, Unit A
 LaPorte, CO 80535

RE: Laramie County Weed & Pest Archer Complex
 Cheyenne, WY

Dear Chris:

The following lighting fixture types are submitted for your consideration as equal products on the above project. The proposed fixtures have similar physical and photometric characteristics. Pictorial and specification brochures are shown on the following pages for your reference.

Type	Specified	Alternate
A	Columbia ST824-332G-FSA12125-EU	LSI LA125-332-SD-SSO102-UE
AEM	Columbia ST824-332G-FSA12125-3EU-EL	LSI LA125-332-SD-SSO10-EMI320-UE
B	Columbia ST824-332G-FSA12125-3EU Specified catalog number has "EL" suffix but the fixture schedule description does not call for an emergency pack – please verify.	LSI LA125-332-SD-SSO10-UE
C	NuLite TH-424T5HO-UNV-PS-N-MLS-CL-WG-AC10 Specified catalog number indicates lamping would be four 24W T5HO 2' lamps. This fixture is drawn as a 4' long fixture on the plans and the fixture schedule description calls for four T8 lamps. Please verify required lamping.	LSI IMX-454-SS5HO2-UE/WG-IMX/PAX-C/TCH-10 Submitting fixture for four F54T5HO lamps – if other lamping is required, it can be supplied. Please verify required lamping.
D	Kenall MLHA12ES48RMWCP232ES1120	CD Lighting VSA-24-232-120-EBH-WL
E	Prescolite LF6CFV32EB-6CFV-PL-TRG	Indy C6V-126/42T-C600LC-W-PG-WET-HB-28
F	Prescolite LF8CFH132EB-8CFH1-CL-B24	Indy C8H-126/42T=C850LC-T-W-CG-WET-HB-28

Type	Specified	Alternate
G	Hubbell TRP-100P8-WT-BZ-PC(1)	Acculite DT-100PS-QT-L-PC120
EE	DualLite OCRSZ0605	LSI ALV-SL-16-A-SSUF-BRS-RM/ALV-SC-BRS
EM	DualLite LM15-I	LightGuard V625-PRL86-2-SC-T
EX	DualLite HCXURW-O-RC12	LightGuard XRC2-XBAT

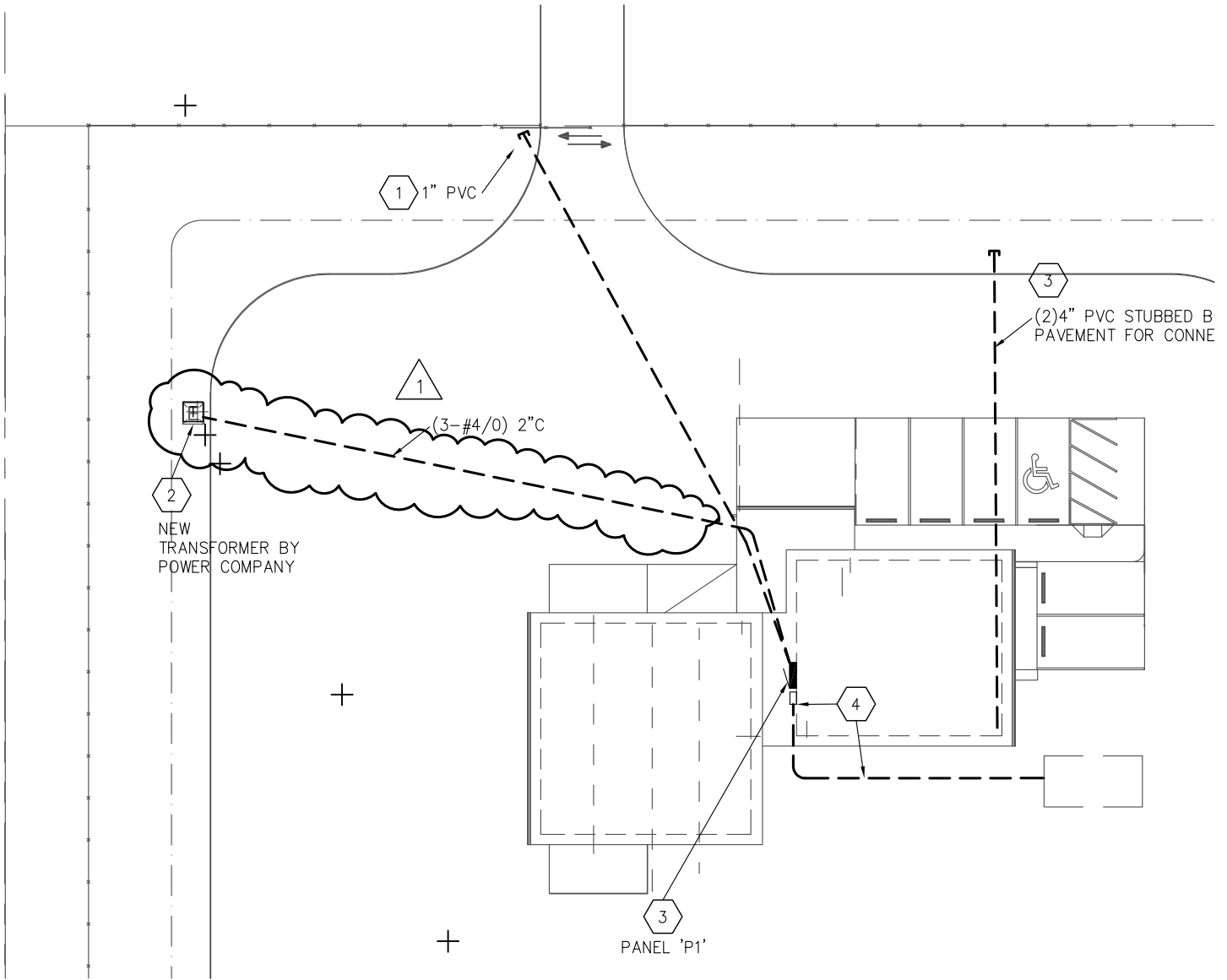
Thank you for your consideration.

Sincerely,

Mary Sanders

Mary Sanders

Enclosures



1 ELECTRICAL SITE PLAN
E1.01 NTS



ADDENDUM #1	
CD REFERENCE SHEET	E1.01
SKETCH NUMBER	1
SHEET TITLE	Electrical Site Plan
DATE	09/08/11
PROJECT #	11-14
PROJECT NAME	LARAMIE COUNTY WEED & PEST



TOBIN & ASSOCIATES

ARCHITECTURE / PLANNING

POWER NOTES THIS SHEET

- 1
- A NEW SURFACE PANEL. 120/240V, 1-PHASE, 225A, 42 SPACE. CONDUITS LEAVING TOP OF PANEL SHALL PASS ABOVE SOFFIT BEFORE TURNING. CONDUITS LEAVING BOTTOM OF PANEL SHALL HAVE EXPANSION FITTINGS ABOVE CONCRETE SLAB TO ALLOW FOR VERTICAL MOVEMENT OF SLAB. ALL EXPOSED CONDUITS LEAVING PANEL SHALL BE EMT, IMC, OR GRSC.
- B NEW SURFACE MOUNTED SEPTIC CONTROL PANEL BY CIVIL. SURFACE MOUNTED. COORDINATE WITH CIVIL DRAWINGS. SEE SHEET E1.01
- C 20A DUPLEX RECEPTACLE WITH WEATHERPROOF COVER. CIRCUIT AS SHOWN.
- D COMBINATION TELEPHONE/DATA WALL OUTLET, PROVIDE FLUSH BOX @ 18" AFF TO CENTER, UON. FROM BOX ROUTE (1)3/4"C TO ABOVE ACCESSIBLE CEILING. COORDINATE TERMINATION AND LABELING OF CABLES AND DEVICES WITH OWNER.
- E 48"W x 96"H x 3/4" TELEPHONE TERMINAL BOARD. WITH 4-PLEX DEDICATED CIRCUIT OUTLET CIRCUIT AS SHOWN.
- F PROVIDE (2) 20A GFCI RECEPTACLES AT 42" AFF FOR CONNECTING (3) INSTANTANEOUS WATER HEATERS BY MECHANICAL. COORDINATE LOCATIONS WITH MECHANICAL CONTRACTOR.

ADDENDUM #1	
CD REFERENCE SHEET	E2.01
SKETCH NUMBER	2
SHEET TITLE	Power Floor Plan
DATE	09/08/11
PROJECT #	11-14
PROJECT NAME	LARAMIE COUNTY WEED & PEST



TOBIN & ASSOCIATES

ARCHITECTURE / PLANNING

project number	11-14
project name	Laramie County Weed & Pest Building
contact person	Jerry Voigt Jacob Augenstein
file name	Z:\CURRENT PROJECTS\11-14\2_Bid\Pre-Bid Sign In Sheet.doc

date & time August 31, 2011, 10:00 am
location Laramie County Archer Community Room

Please Print. All addendums and any correspondence will be sent by e-mail address. Tobin & Associates will not be responsible for researching and/ correcting erroneous or non-legible names and E-mail address.

name	Organization/Phone	E-Mail
Jacob Augenstein	Tobin & Assoc. 307-632-3144	Jacob@Tobin-assoc.com
Jerry Voigt	"	Jerry@tobin-assoc.com
Dick Sackett	Laramie Co. Weap	Larcoweed@rtconnect.net
Norm Soden	Laramie Co. Weap	Normsod@F01.com
Bobby Hall	Advanced Air systems	advancedwyo1@guestoffice.net
Doug Corey	CK Construction Corp	Smartin@CKConstructionCorp.com
Kevin Hansen	Construction Specialists Inc	RMK1999@guestoffice.net
Adam Bauer	KNIFE RIVER	ADAM.BAUER@KNIFERIVER.COM
Scott Parsons	Mechanical Systems	ScottP@MSE WYO.COM
Cailey Reiman	Reiman Corp	creiman@reimancorp.c
Scott Brelsford	ALLIANCE CONST.	srbrelsford@allianceconstruction.c
JOEL MCKEE	MCKEE HALL ELECT.	mhes1@live.com

name	Organization/Phone	E-Mail
Jerry Butcher	S&S Builders llc	jbutcher@ssbuildersllc.com
Bill See	Heath Construction	chris@heathconstruction.com
Jim LAMIE	Monument Bldg.	Jim.lamie@BRESNAN.WE
Luke Williams	L.W. Plumbing & Htg llc	lwplumb@lonetree.com
ALAN CASSISTA	MARV'S PLUMBING & HE-	alan@marvsplumbing.co
DENNIS JOHNSON	SIMPSON ELECTRIC	SIMPSONELECTRIC@MSN.COM
RAY FERTIG JR	RECCO INC. DBA FIVE R	FIVE RRRR@AOL.COM
Kenneth Noe	COSHAWK LLC	Kenneth.Noe@maillhost.co
Brian Piersall	L.C. C.M 633-4617	bpiersall@laramiecounty.com
PAUL SABB	MZI	paul@msi.wyo.com
Doug Mainwaring	Richardson Construction	office@richardsonconstructioninc.com
Kyle Wolte	WN McMurry Construction	Kyle@WNMcMurry.com
JASON VAUGHN	DELTA CONSTRUCTION, INC.	JVAUGHN@DELTACONSTRUCTION.COM

PRE-BID CONFERENCE AGENDA / MEETING MINUTES

Date: August 31, 2011

Project: Laramie County Weed & Pest – Archer Facility

A. PURPOSE OF CONFERENCE

The purpose of the conference is to meet with prospective bidders to allow discussion of the construction documents, review their content, answer questions of prospective bidders, and explain to them different aspects of the project, and anticipated expectations of the Owner.

B. ADMINISTRATIVE INFORMATION

1. This agenda is to be distributed to all participants at the Pre-Bid Conference.
2. The Pre-Bid Conference is to be held prior to the bid date, with enough time before the bid date for prospective bidders to address conference information. The conference is to be arranged by the architect in coordination with the Owner's representative.
3. The architect will make a record of the conference and will distribute it to all concerned. Agreements reached and instructions given which are supported by the contract documents are considered binding on all bidding parties. Addenda, if required after the conference, will be issued by the Architect, to all planholders.
4. Attendees should include the Owner, agents of the Owner, Architect (and his Consultants), prospective General Contracting bidders, subcontractors, suppliers and materialmen.
5. The Owner's representative or Architect presides.

C. INTRODUCTION

Welcome, by the Owner. Introduction of those present.

D. PARTICIPANTS

Architect to compile a sign-up list of those present. (See Attached)

E. PROJECT OBJECTIVES

The Owner's Representative will explain the nature and intent of the Project, and its critical aspects. If the bid process goes well, the chances are good that the Project will proceed with fewer problems. Schedules, lines of communication, methods of operations, need to be understood before work on the project begins. In other words,

we need to work as a team. Members of the team are the Contractor and his subcontractors, the Architect, and the Owner's representative. All must work together toward the accomplishment of the following objectives:

1. Produce high quality work in strict compliance with plans and specifications.
2. Complete the project in optimum time through careful conformance to the production schedule.
3. Maximize the use of allocated funds through:
 - a. Elimination of waste
 - b. Minimizing changes
 - c. Use of effective management tools and techniques

F. PRIMARY POINTS OF CONTACT

The contacts for the project, for project parties shall be through the Contractor to the Architect.

- **Jacob Augenstein is Tobin & Assoc.'s Project Manager His Email Address: Jacob@Tobin-Assoc.com**

G. LINE OF AUTHORITY

1. The architect is the Owner's representative at the project and all instructions to the contractor will come through him.
2. A copy of all written correspondence between the architect and the contractor will be sent to the Owner.
3. The architect will confirm in writing, all significant oral instructions to the contractor.
4. The Owner has a great interest in the project. However, they are not in the line of authority to give instructions directly to the contractor, unless the Architect is informed differently, by documentation from the Owner.

SPECIAL CONDITIONS (when applicable)

This Project calls for special conditions, due to the nature of security requirements. All parties on site will be subject to security procedures and restrictions. Violations will be dealt with in a legal manner.

1. Speed Limit 15 mph, entire Archer Complex is considered a construction zone and fines will be doubled.
2. Building department will be on site daily.
3. Safety is the number one goal, and will be upheld. Strict penalties will be used if safety procedures are not followed.
4. OSHA will be able to make unannounced site visits at any time.
5. No smoking will be allowed within 15 feet of buildings.

6. Safety vests, Safety Glasses, Hard Hats & Gloves are required at all times on site.
7. No Fire Arms, bombs, etc. are allowed on county property.

H. BIDDING

1. Bid Forms are provided in the Project Manual. Fill out bid forms as instructed in the Call for Bids in accordance with General Provisions. **DO NOT QUALIFY BIDS.**
 - a. In filling out a bid, it is understood by the bidder, he is familiar with the Project requirements and is bound by the bidding requirements.
2. Bid Signature Page is to be signed only by persons authorized to sign for the bidder.
3. Acknowledge all addenda.
 - All questions or substitutions are due on or before Wednesday September 7th, 2011.
 - Addenda will be issued Thursday September 8th, 2011. By email.
4. Deliver the Bid Proposal to the Owner as designated. Bids received after the deadline for receipt, will not be considered.
 - Bids are due at Tobin & Associates Office, by 2:00 pm on Wednesday September 13, 2011.

I. CONTRACT FORM

Review the Contract Form the Laramie County Weed & Pest will use for the Project.

1. Progress Meetings
 - a. The Contractor will arrange for periodic job conferences with the Contractor, Owner, Architect, and others as necessary.
 - Bi-weekly project meetings will be required.

J. AWARD OF THE CONTRACT

The Owner reserves the right to reject any and all Bids, to waive any and all informalities and to negotiate contract terms with a responsible successful bidder, and the right to disregard all nonconforming, non-responsive or conditional bids.

The Bidders are to review and familiarize themselves with the procedures the Owner will follow in the process of awarding the bid. REVIEW GENERAL PROVISIONS.

K. DISCUSSION AND QUESTIONS

Period for questions of prospective bidders and conference participants.

1. Wyoming Preferences will be implemented on this project.

2. Bid opening are open to the public. The Laramie County Weed & Pest Board will select the Contractor, who will be receiving the intent to award on September 15, 2011. That Board Meeting is also open to the public.
3. OSHA 10 Cards will be required for anyone working on the site. As long as Personnel are signed up for the class, prior first day of work, it will be acceptable for personnel to be on site.

Following questions were address on the Site Visit Walk Through

4. Laramie County is in charge of Grading, Sediment & Erosion control, and Contractor will be required to fill out application, and meet all applicable requirements.
5. Archer Road should be paved by Mid October.
 - a. Approach road directly to the Weed & Pest Site (Parallel to north property line) will not be paved during construction.
6. Call 811 for all utility locates.
7. The fence that is to be provided around entire site may be used as construction fence.
8. Electrical Transformer will be located on the Northwest corner of the site not were shown on E1.01. Modification will be made in addendum.